

TITLE COMMITMENT INFORMATION

THE PROPERTY HEREON DESCRIBED IS THE SAME AS THE PERTINENT PROPERTY AS DESCRIBED IN FIDELITY NATIONAL TITLE INSURANCE COMPANY, COMMITMENT FILE NO.: 20261373CTN, WITH A DATE OF AUGUST 5, 2026.

LEGAL DESCRIPTION

(AS DESCRIBED IN THE TITLE COMMITMENT)

SITUATED IN DISTRICT NO. 8 OF KNOX COUNTY, TENNESSEE, WITHOUT THE CORPORATE LIMITS OF THE CITY OF KNOXVILLE, AND BEING KNOWN AND DESIGNATED AS LOT 1, R-1, CARRIERS ADDITION TO MINE ROAD, AS SHOWN ON THE PLAT OF RECORD AS INSTRUMENT NO. 202607310008017, IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE, TO WHICH PLAT SPECIFIC REFERENCE IS HEREBY MADE FOR A MORE PARTICULAR DESCRIPTION.

BEING THE SAME PROPERTY CONVEYED TO CLARENCE R. WILLIAMS AND LORA J. WILLIAMS, HUSBAND AND WIFE, BY WARRANTY DEED OF RECORD IN INSTRUMENT NO. 201105050064882, REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE, TOGETHER WITH A PORTION OF THE PROPERTY CONVEYED TO CLARENCE R. WILLIAMS BY WARRANTY DEED OF RECORD IN INSTRUMENT NO. 201210260027378, SAID REGISTER'S OFFICE.

NOTES CORRESPONDING TO SCHEDULE B

9. SUBJECT TO ALL MATTERS SHOWN ON THE PLAN OF RECORD AS INSTRUMENT NUMBER 201104080059435 AFFECTS, NOTHING TO PLOT AS EASEMENT VACATED PER INSTRUMENT NO. 202607310008017, AND MAP CABINET K, PAGE 236D AFFECTS, NOTHING TO PLOT, REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE.
10. NEW SERVICE UTILITY EASEMENT OF RECORD IN INSTRUMENT NUMBER 201208150010271, IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE. AFFECTS, BLANKET IN NATURE.
11. NEW SERVICE UTILITY EASEMENT OF RECORD IN INSTRUMENT NUMBER 201401070040867, IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE. AFFECTS, BLANKET IN NATURE.
12. APPLICATION FOR GREENBELT ASSESSMENT OF RECORD IN BOOK 1962, PAGE 1195, IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE. NOTE: THE LAND HAS BEEN CLASSIFIED AS GREENBELT FOR ASSESSMENT, LEVY AND COLLECTION PURPOSES AND MAY BE SUBJECT TO SUBSTANTIAL ROLLBACK TAXES AS DEFINED IN TENNESSEE CODE ANNOTATED, SECTION 67-5-1001, AS TO TRACT 2. AFFECTS, NOTHING TO PLOT.
13. UTILITY EASEMENT OF RECORD IN INSTRUMENT NUMBER 20170710001562, IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE. AFFECTS, BLANKET IN NATURE ALONG UTILITY FACILITIES AS INSTALLED.
14. APPLICATION FOR GREENBELT ASSESSMENT OF RECORD IN INSTRUMENT NUMBER 201802160048847, IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE. AFFECTS, NOTHING TO PLOT.
19. SUBJECT TO ALL MATTERS SHOWN ON THE PLAN OF RECORD AS INSTRUMENT NO. 202607310008017, REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE. AFFECTS, NOTHING TO PLOT.

LEGEND

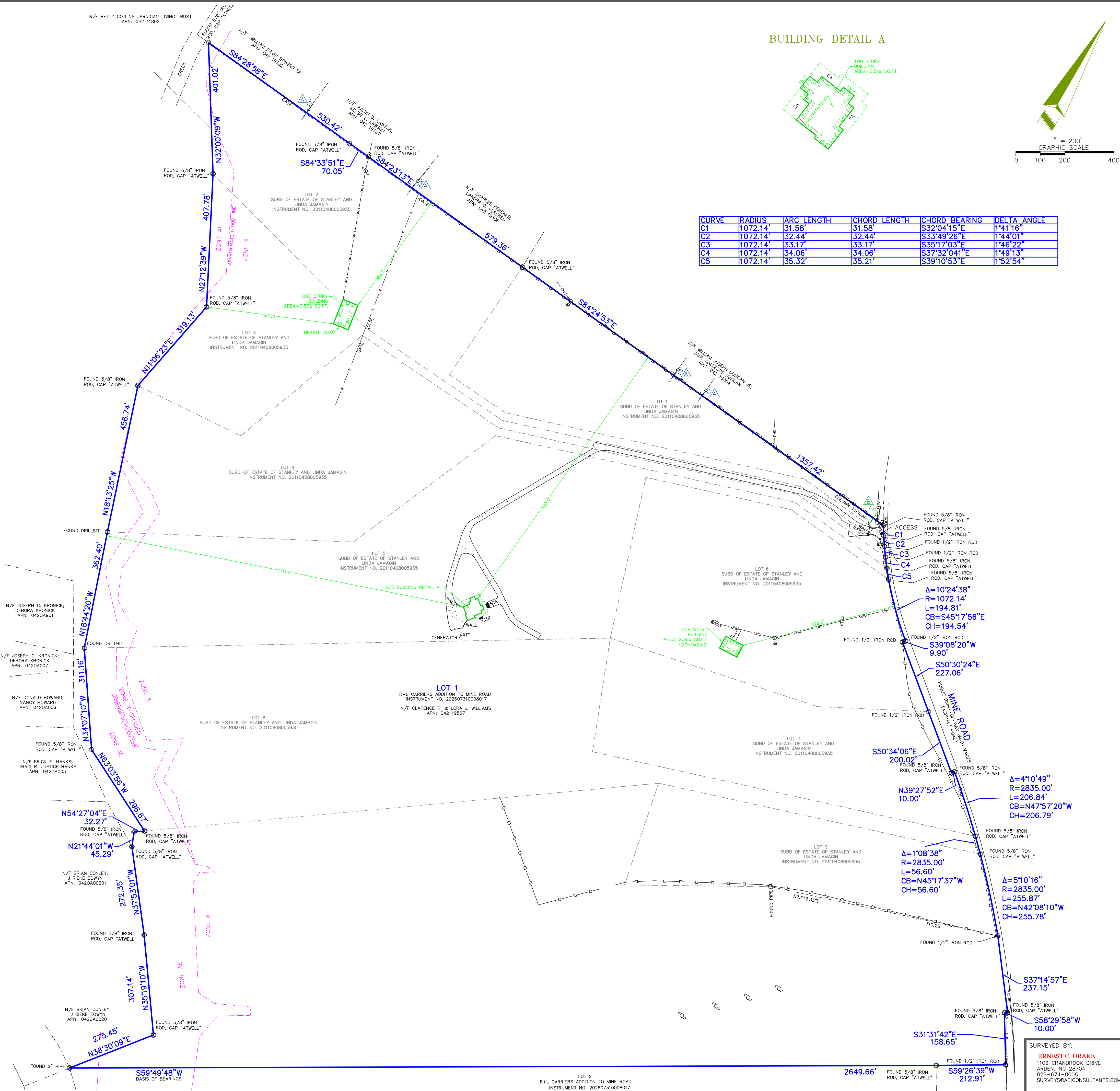
CONCRETE SURFACE	Δ	CENTRAL ANGLE
TRANSFORMER	L	ARC LENGTH
SM SANITARY SEWER MARKER	CH	RADIUS
WD WOOD DECK	CB	CHORD BEARING
WM WATER METER	CH	CHORD LENGTH
UB UTILITY BOX	Q	FOUND MONUMENT
FOM FIBER OPTIC MARKER	Δ	COMPUTED POINT (NO MONUMENT)
MS METAL STAND	— OH —	OVERHEAD UTILITY LINE
CA COVERED AREA	— X —	GUARD RAIL
OR CABLE RISER	— X —	BARB WIRE FENCE
STR STAIRS	— O —	WOOD PANEL FENCE
SM SANITARY MANHOLE	— O —	METAL FENCE
UP UTILITY POLE	— — —	SUBJECT BOUNDARY LINE
QA GUY ANCHOR	— — —	BUILDING LINE
LP LIGHT POLE	+++++	RAILROAD TRACKS
SG SIGN	— — —	RIGHT-OF-WAY LINE
N/F NOW OR FORMERLY	---	BOUNDARY LINE
	---	EASEMENT LINE (COLOR AS SHOWN)
	---	COVERED/OVERHANG AREA

STATEMENT OF SIGNIFICANT OBSERVATIONS

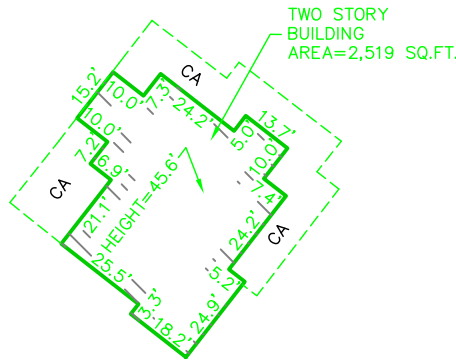
THE STATEMENTS BELOW CONTAIN OPINIONS BASED ON FIELD OBSERVATIONS AND MAY OR MAY NOT COINCIDE WITH THE FACTS RELATIVE TO MATTERS OF PUBLIC RECORDS, ACTUAL USE OF THE PROPERTY, USE OF IMPROVEMENTS TO THE PROPERTY, OR ACTUAL PROPER ACCESS.

Δ ADJOINER'S FENCES CROSS ONTO SUBJECT PROPERTY BY AT MOST 3.7'.

Δ FENCE CROSSES OFF OF SUBJECT PROPERTY BY AT MOST 1.1'.



BUILDING DETAIL A



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1072.14'	31.58'	31.58'	S32°04'15"E	1°41'16"
C2	1072.14'	32.44'	32.44'	S33°49'26"E	1°44'01"
C3	1072.14'	33.17'	33.17'	S35°17'03"E	1°46'22"
C4	1072.14'	34.06'	34.06'	S37°32'04"E	1°49'13"
C5	1072.14'	35.32'	35.21'	S39°10'53"E	1°52'54"

VICINITY MAP

NOT TO SCALE
MAP DATA © 2025 GOOGLE



SHEET 1 OF 1

LAND AREA

5,890,090 SQUARE FEET
135.216 ACRES

PARKING

REGULAR= 0
HANDICAP= 0
TOTAL= 0

FLOOD INFORMATION

SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) WWW.MC.FEMA.GOV
DETERMINATION METHOD: GRAPHICAL PLOTTING ONLY.
MAP NUMBER: 4709300159F AND 4709300178F
EFFECTIVE DATE: 08/02/2007
ZONE "X" - MINIMAL RISK AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
ZONE "X" SHADING - MODERATE RISK AREAS OF 0.2% ANNUAL CHANCE FLOOD AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THE 1 SQUARE MILE.
AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.
ZONE "AE" - BASE FLOOD ELEVATIONS (BFE) ARE DETERMINED.

BEARING BASIS

BEARINGS SHOWN HEREON ARE BASED ON THE SOUTHERLY LINE OF LOT 1 BEING S89°49'48"W, PER INSTRUMENT NO. 202607310008017.

GENERAL NOTES

- NO UNDERGROUND UTILITIES ARE SHOWN ON THIS SURVEY. ONLY ABOVE GROUND VISIBLE EVIDENCE OF UTILITIES ARE SHOWN. WITHOUT EXCAVATION UTILITY INFORMATION MAY BE INCOMPLETE, INACCURATE AND UNRELIABLE.
- UNLESS PROMINENTLY NOTED HEREON, ALL STATEMENTS AND OR CERTIFICATIONS RELATING TO IMPROVEMENT STRUCTURES OF ANY TYPE, UTILITIES, OR NON-RECORD USE ARE BASED SOLELY ON OBSERVABLE ABOVE GROUND EVIDENCE.
- THE SUBJECT PROPERTY HAS PHYSICAL ACCESS TO MINE ROAD, BEING A DEDICATED PUBLIC STREET OR HIGHWAY. THIS STATEMENT IS BASED ENTIRELY ON FIELD OBSERVATIONS AT THE TIME OF SURVEY. THE LOCAL GOVERNING AUTHORITY SHOULD BE CONSULTED FOR ANY QUESTIONS CONCERNING THE VALIDITY OR RIGHTS OF THIS USE.
- BASED ON LIMITED AND RUDIMENTARY SURFACE OBSERVATIONS, THERE DOES NOT APPEAR TO BE ANY CEMETERIES AND OR BURIAL GROUNDS ON SITE. HOWEVER, A QUALIFIED PROFESSIONAL IN THIS FIELD WAS NOT CONSULTED FOR ABSOLUTE CONFIRMATION.
- THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT TIME OF SURVEY.
- WITHOUT EXPRESSING A LEGAL OPINION THE PARCELS CONTAINED IN THE LEGAL DESCRIPTION ARE CONTIGUOUS WITHOUT ANY GAPS, GORES OR OVERLAPS.
- BUILDING AREAS BASED ON THE FOOTPRINT.
- NO INFORMATION WAS PROVIDED TO THE SURVEYOR TO INDICATE PROPOSED CHANGES IN STREET RIGHT-OF-WAY. NO EVIDENCE OF RECENT STREET OR SIDEWALK REPAIRS WAS OBSERVED AT TIME OF SURVEY.
- THIS SURVEY DOCUMENT IS NOT VALID WITHOUT THE AUTHORIZED SEAL AND SIGNATURE OF A PROFESSIONAL SURVEYOR. IN ADDITION, ANY CHANGES TO THIS SURVEY DOCUMENT BY OTHER THAN THE PROFESSIONAL SURVEYOR NAMED HEREON INVALIDATES THE SURVEY DOCUMENT.
- TITLE WORK FOR THIS ALTA SURVEY WAS FURNISHED TO AEI CONSULTANTS BY THE CLIENT. NO TITLE SEARCH WAS PERFORMED BY AEI CONSULTANTS. AEI CONSULTANTS DOES NOT ACCEPT ANY LIABILITY FOR ERRORS, OMISSIONS OR DEFICIENCIES DUE TO INACCURACIES IN THE TITLE WORK.
- ALL DISTANCES ARE HORIZONTAL GROUND (U.S. SURVEY FEET).
- IN REGARDS TO OPTIONAL TABLE A ITEM 8 AND BY SURFACE OBSERVATIONS MADE BY NON-QUALIFIED PERSONNEL ONLY, THERE DOES NOT APPEAR TO BE ANY OBSERVABLE REFUSE AREAS OR DUMPSTERS AT TIME OF SURVEY.
- I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS IS A GENERAL PROPERTY SURVEY AS DEFINED BY THE TENNESSEE MINIMUM STANDARDS OF PRACTICE (CHAPTER 9820-03) AND THAT THIS SURVEY WAS MADE IN COMPLIANCE WITH SAID STANDARDS. IN ADDITION, THE MEASUREMENTS FOR THIS SURVEY MEET CATEGORY IV ACCURACY REQUIREMENTS (RTK OPTION) OF SAID STANDARDS AND THE RELATIVE POSITIONAL ACCURACY DOES NOT EXCEED 0.07 FEET PLUS 50 PARTS PER MILLION AS DETERMINED BY REDUNDANT OBSERVATIONS TO A STATISTICALLY SIGNIFICANT NUMBER OF POINTS.
- SOME PORTIONS OF THE SURVEYED PROPERTY ALONG THE WESTERLY BOUNDARY LINES WERE INACCESSIBLE AT THE TIME OF SURVEY.

ALTA/NSPS LAND TITLE SURVEY

AEI JOB #529995
2315 MINE ROAD
AND A PORTION OF 2151 MINE ROAD
MASCOT, TENNESSEE
KNOX COUNTY

SITE PICTURE



COORDINATED BY:
AEI CONSULTANTS
2500 CAMINO DIABLO
WALNUT CREEK, CA 94597
TELEPHONE: 925.746.6000
EMAIL: SURVEYS@AEICONSULTANTS.COM

DATE	REVISION HISTORY	BY	SURVEYOR JOB NUMBER:
			529995
			SCALE:
			1" = 150'
			DRAWN BY:
			KTF/UB
			APPROVED BY:
			ECD

ALTA/NSPS LAND TITLE SURVEY CERTIFICATION

TO: RAMAR LAND CORPORATION, AN OHIO COMPANY; AND FIDELITY NATIONAL TITLE INSURANCE COMPANY;

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2026 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7(c), 7(b)(1), 7(c), 8, 9, 13, 14, 16, 17 AND 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON 08/22/2026. DATE OF PLAT OR MAP: 08/31/2026.

ERNEST C. DRAKE
1103 CRANBROOK DRIVE
ARDEN, NC 28704
828-674-0008
SURVEYS@AEICONSULTANTS.COM

8/31/2026
DATED

REGISTERED SURVEYOR - ERNEST C. DRAKE
PROFESSIONAL LAND SURVEYOR
STATE OF TENNESSEE
(FOR THE FIRM AEI CONSULTANTS)